

**COPPERFIELD HOMEOWNERS ASSOCIATION  
P. O. Box 5911  
BRYAN, TX 77805-5911**

October 12, 2005

**REQUEST FOR BIDS**

Sealed bids will be received until 10:00 AM on Monday, October 31, 2005 at the Association Services offices, acting on behalf of the Copperfield Homeowners Association, said offices located at 427 Dellwood, Bryan, Texas, 77802, to perform the following work:

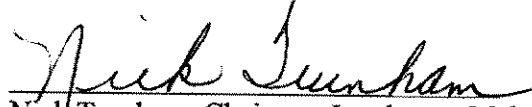
Construct a fully automated sprinkler system, sodding, and lighting at the intersection of Nottingham Lane and Copperfield Drive in Bryan, Texas.

The work shall consist of, but not be limited to, the following items:

1. Existing sprinkler system shall be cut and capped, north and south of Nottingham Lane.
2. Furnish and install a fully automated sprinkler system on the east side of Copperfield Drive, approximately 200 feet south of Nottingham Lane to approximately 50 feet north of Nottingham. This will include a controller, located where specified, a backflow prevention device, and all heads and wiring for a complete system.
3. Furnish and spread approximately 32 cubic yards of topsoil over the entire area to be sodded.
4. Furnish and place centipede sod over the entire area as specified. It is the intent of this specification to have complete coverage of sod over the entire area.
5. Furnish and install a 1-inch water meter and make necessary connection to City water supply. Water meter to be located at site recommended by City.
6. Bore and install 4-inch sleeve under Nottingham Lane. This sleeve will serve as a conduit for a 1-inch copper water line, electrical lines, and sprinkler controls.
7. Furnish and install a 100-amp meter loop/pedestal at a site determined by CHOA representative.
8. Furnish and install two (2) ground-mounted floodlights (one on each side of Nottingham Lane), shining on the existing signs.
9. Furnish and install a 20-amp all-weather receptacle on the back of each Nottingham entrance sign.
10. Make connection to City electrical service.
11. Contractor will provide adjustments as required to sprinkler system for 1 full year from date of completion, to assure complete coverage of water.
12. Furnish and install bubblers and/or drip system in existing flower beds.
13. Contractor will secure all permits, pay all fees and construction costs to City of Bryan and BTU for water and electrical connections.
14. All work and materials shall meet or exceed City of Bryan code requirements.

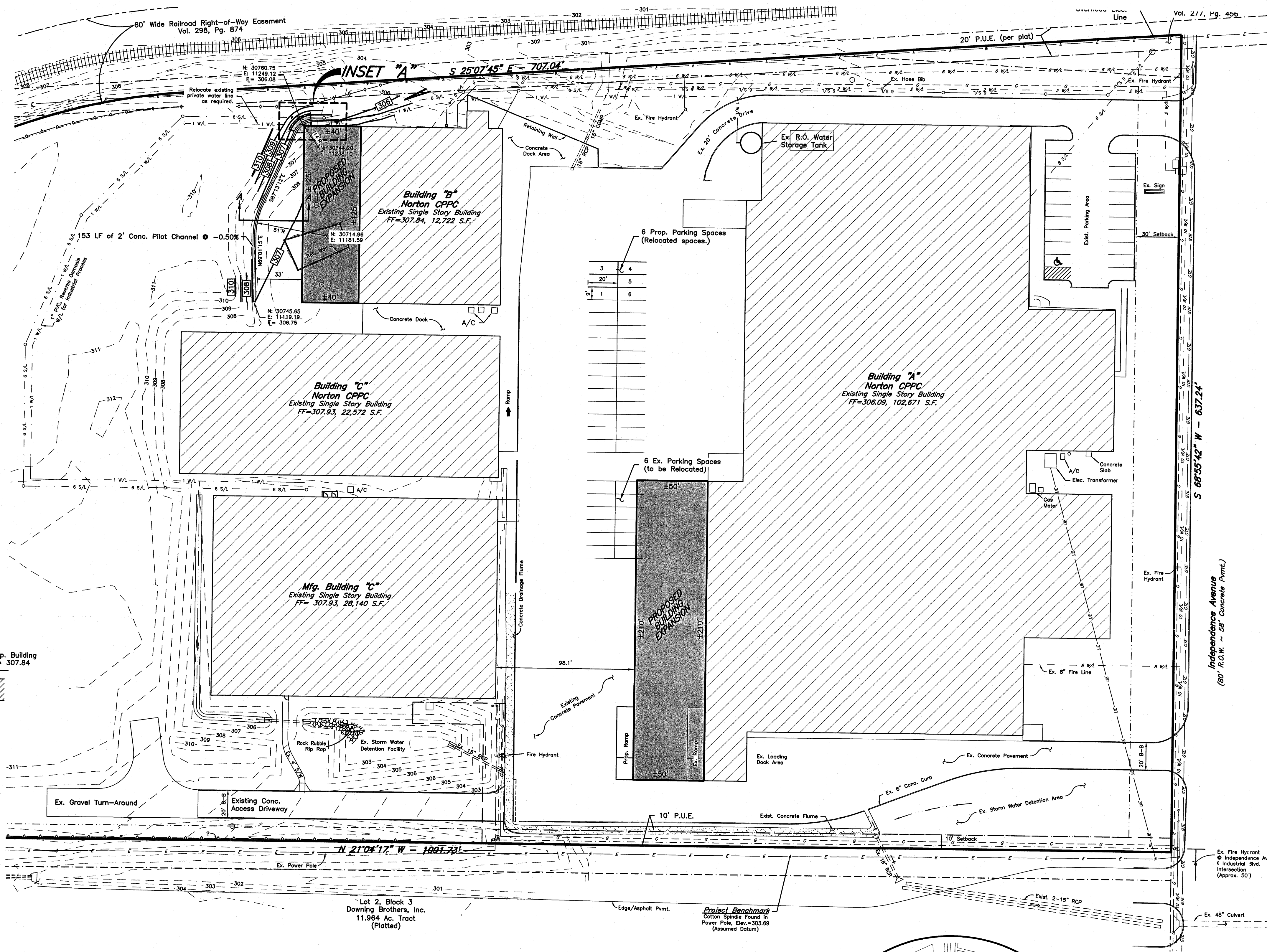
15. Upon completion of work, the Contractor shall notify the CHOA representative at 774-4061. The representative shall inspect the work within two working days and, upon acceptance, the work will be paid for in full within five working days.

As specified by CHOA Board of Directors, by their agent:

A handwritten signature in cursive script, appearing to read "Nick Turnham".

Nick Turnham, Chairman Landscape Maintenance Committee, for  
Copperfield Homeowners Association

xc: CHOA Landscape Maintenance File  
CHOA Board of Directors

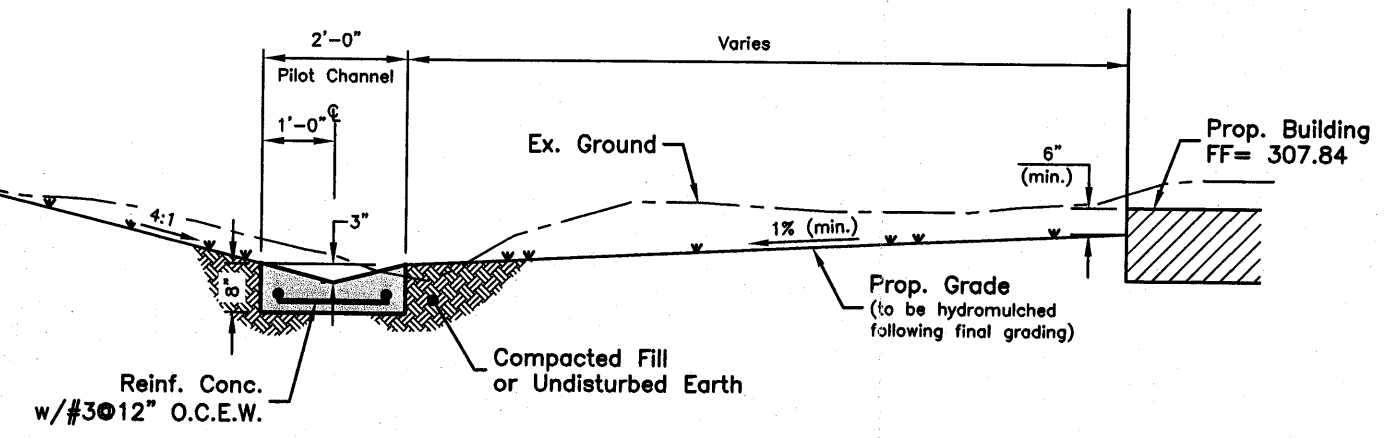


- Notes:**
- Existing Land Use: Industrial Facility, Zoned "I"
  - Contour Information is based on an assumed Datum.
  - No portion of the site is within the 100-Year flood plain per the Federal Emergency Management Agency Flood Insurance Rate Maps for Brazos County, Texas, Map Number 48041C0137C, Effective July 2, 1992.
  - Existing Buildings:  
Gross S.F. = 166,105 S.F.  
Proposed Building Gross Square Footage = 15,500 S.F.  
% Increase = 9.33%
  - Solid Waste Disposal is and shall continue to be handled by Texas Commercial Waste, a private waste collection company.
  - Gas and Power Services will be provided as shown on plans.
  - Existing underground utility information has been obtained from the available records of the site.
  - Parking Analysis does not change from previous Partial Site Plan. All spaces removed by the proposed construction are being replaced.
  - Sewer and Water use will remain unchanged, based on current usage, due to building expansion.
  - Minimal increase in impervious area (0.11 ac.) will not effect the overall drainage pattern of this site.
  - Asbestos Survey will be conducted as part of the building permitting process.

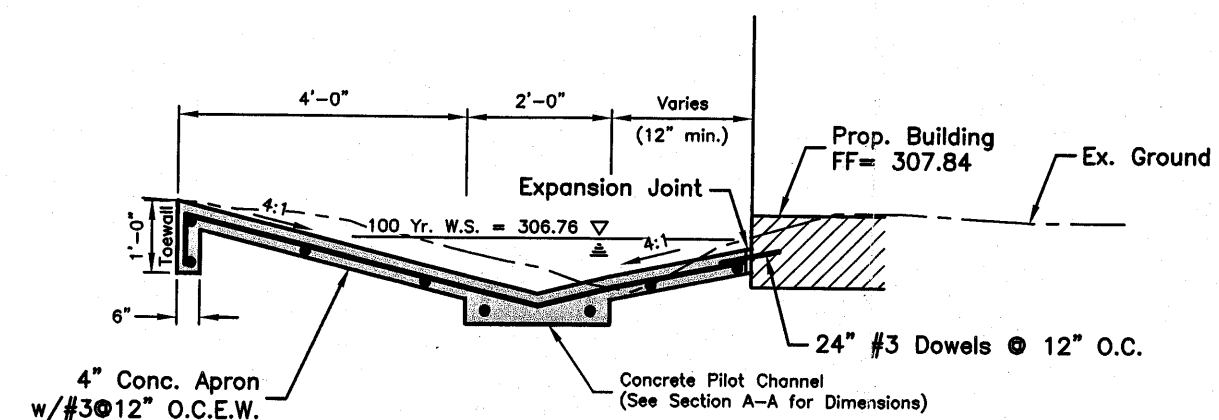
**Legend**

- 6" W/L --- Existing Water Line
- 8" S/L --- Existing Sewer Line
- 8" G/L --- Existing Gas Line
- 8" E/L --- Existing Electrical Line
- 8" E/L --- Under Ground Electrical Line
- 8" E/L --- Overhead Electrical Line
- 8" E/L --- Existing Contours
- 8" E/L --- Proposed Contours
- 8" E/L --- Fire Hydrant
- 8" E/L --- Gas Meter
- 8" E/L --- Guy Anchor
- 8" E/L --- Power Pole
- 8" E/L --- Telephone Pedestal
- 8" E/L --- Trees
- 8" E/L --- Water Meter
- 8" E/L --- Water Valve

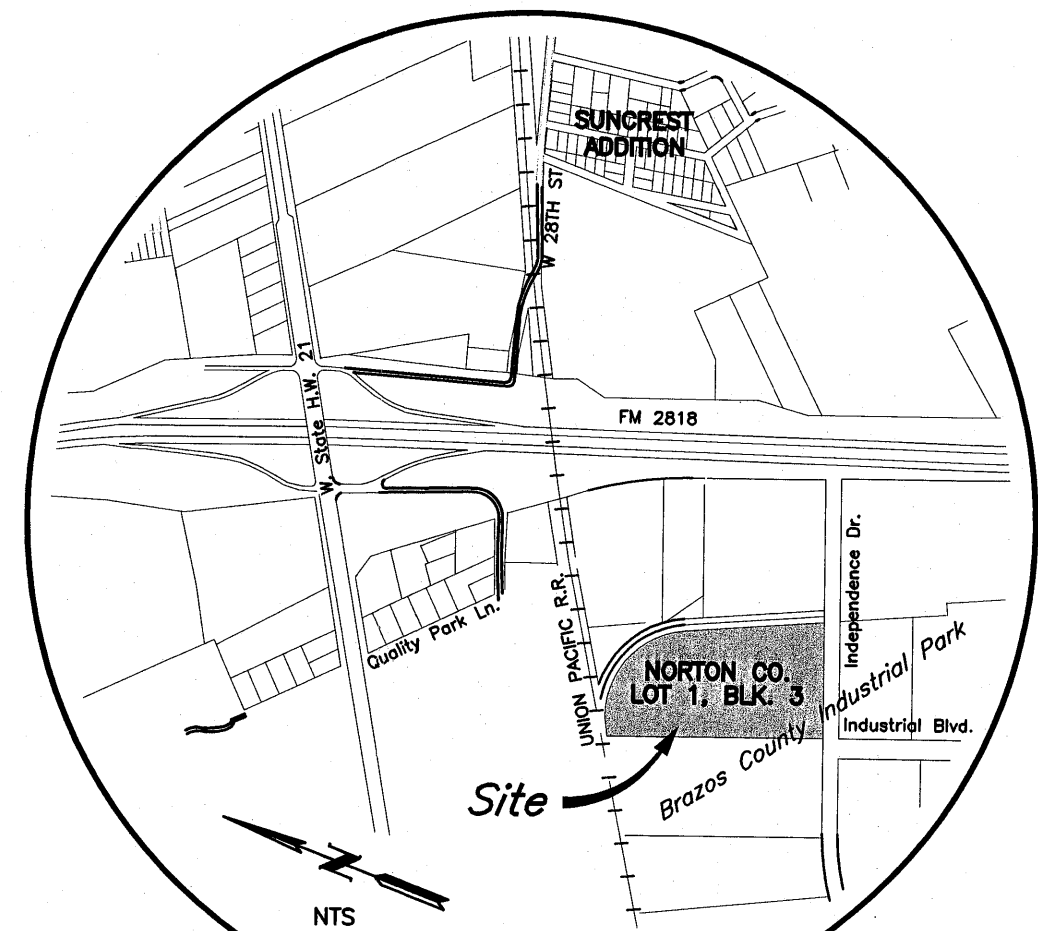
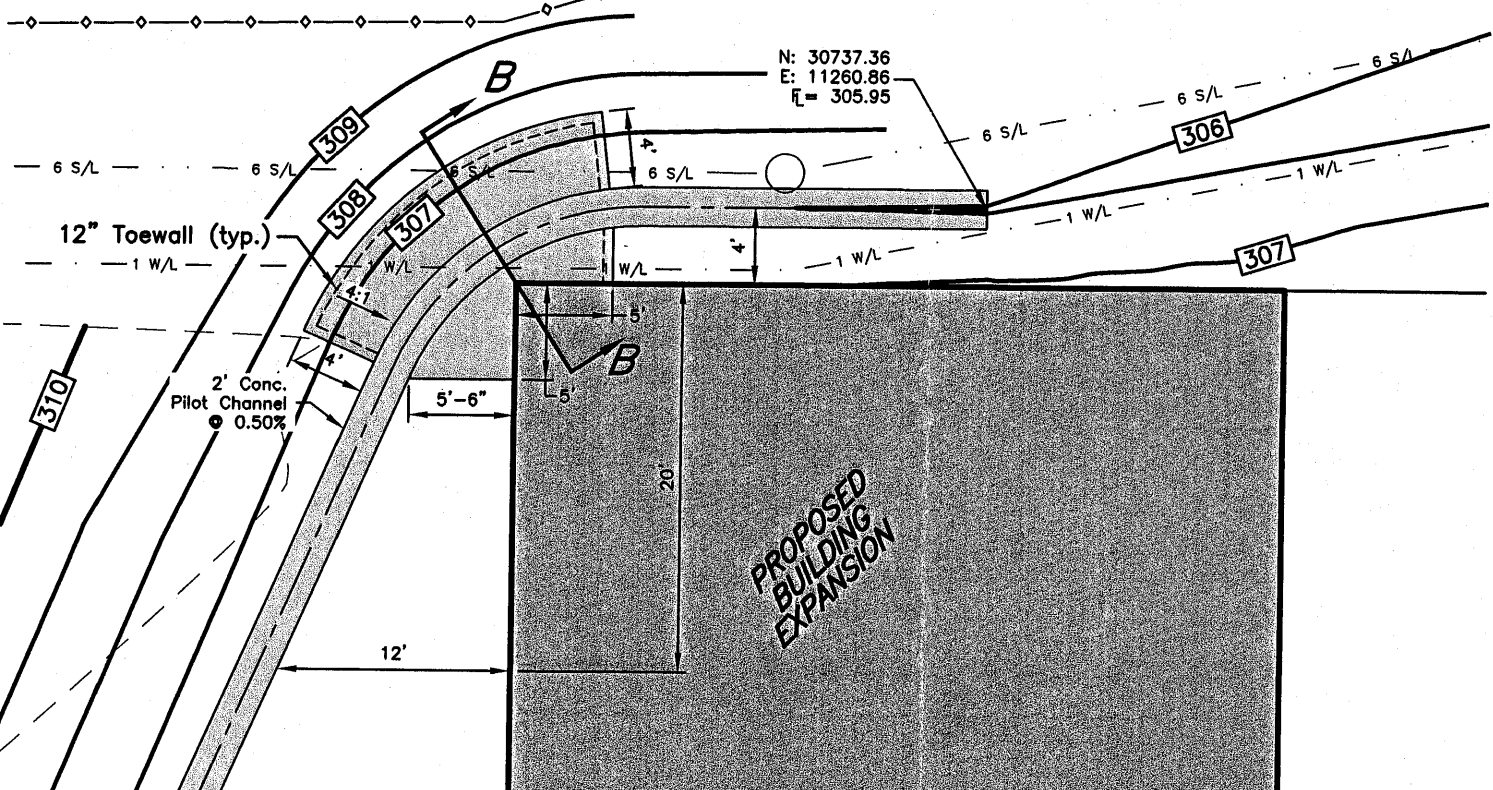
**SECTION A-A**  
SCALE: NTS



**SECTION B-B**  
SCALE: NTS



**INSET A**  
SCALE: 1" = 10'



VICINITY MAP

**PARTIAL SITE PLAN**

**Saint-Gobain  
NorPro Corporation**  
LOT 1, BLOCK 3  
BRAZOS COUNTY INDUSTRIAL PARK PHASE III  
VOLUME 500, PAGE 917  
12.780 ACRES  
S.F. AUSTIN LEAGUE, NO. 9, A-62  
BRYAN, BRAZOS COUNTY, TEXAS  
JANUARY, 2006  
SCALE: 1" = 40'

**Owner:**  
Saint-Gobain  
NorPro Corporation  
1500 Independence Avenue  
Bryan, Texas  
(979) 779-1500

**Prepared By:**  
McClure & Browne Engineering/Surveying, Inc.  
1008 Woodcreek, Ste. 103  
College Station, Tx. 77845  
(979) 693-3838

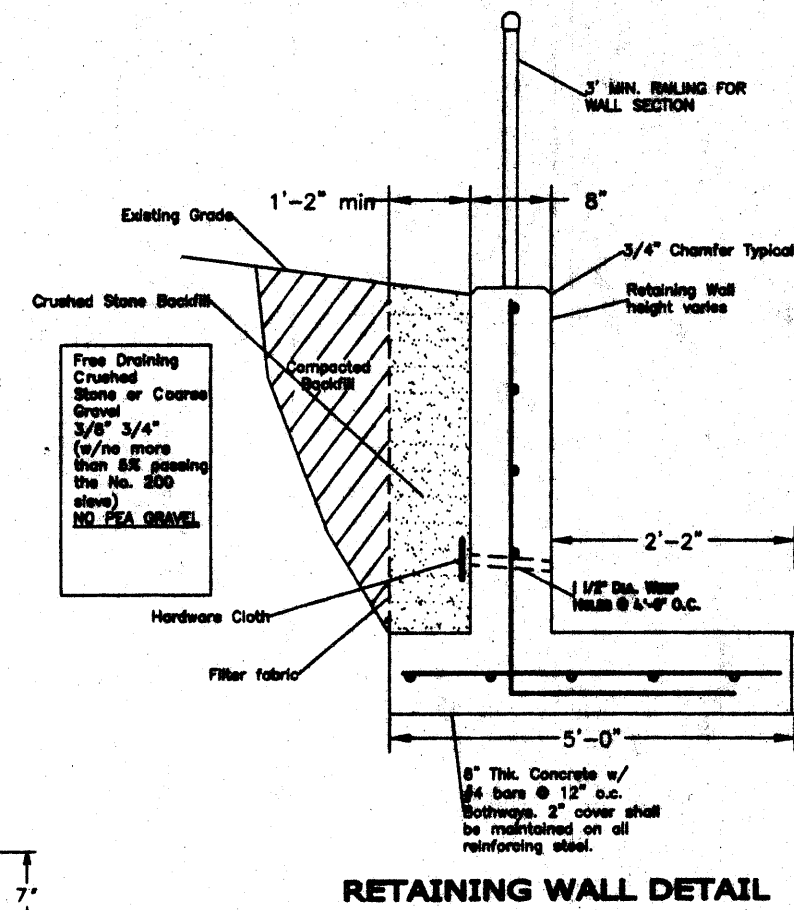
For Interim Review Only  
These documents are released  
for the purpose of review under  
the authority of  
Jeffery L. Robertson,  
P.E. No. 94745  
on January 24, 2006.  
They are not to be used for  
construction purposes.

Received  
JAN 25 2006  
Development & Engineering  
Services

SP06-03



SCALE : 1" = 40'



RETAINING WALL DETAIL

CLASS "A" CONC. (28 DAY STRENGTH-4000 PSI)  
W/84 BARS CONTINUOUS AND 3" CLEAR TYP.  
TYPICAL CURB & GUTTER SECTION  
(N.T.S.)

CLASS "A" CONC. (28 DAY STRENGTH-4000 PSI)  
W/84 BARS CONTINUOUS AND 3" CLEAR TYP.  
24" LAYDOWN GUTTER SECTION  
(N.T.S.)

#### General Notes:

1. Basis of Bearing is the Northwest property line being rotated to the deed call S 30°12'10" E - 55.567', as recorded in Volume 2022, Page 208, Official Records, Brazos County, Texas.
2. This Property does not lie in the 100 year flood plain as pre FEMA Map# 4801C0129 C, Effective Date: July 2, 1992. The flood plain is over 100' North of the North Boundary Property line.
3. Firelane to be painted "Firelane Red" and marked firelane.
4. An easement from Lee Labello, et al, to the City of Bryan, dated August 19, 1937, recorded in Volume 98, page 191, Deed Records of Brazos County, Texas affects this property. This is a blanket right-of-way easement for State Highway 21 and F.M. 2818.
5. This property is zoned: Industrial.
6. All building setbacks shall be in accordance with the City of Bryan Site Development Review Ordinance.
7. 27" Transmission Line is NOT on property.
8. There are no water or sewer easements that cross the property. Proposed are a 10' water easement and an 10' electric easement, as shown.
9. Approximately 1.58 Acres are used as open display area.
10. Refer to Landscap Architect Drawings for Landscap Analysis and for sleeve or bore locations.
11. Refer to MEP Drawings for Electrical Load Requirements.
12. Top of curb elevation will be 6" higher than the elevation of pavement unless otherwise stated.
13. All face of curb radius within end islands are 5'.
14. All utility services shall be underground.
15. The contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with this project. The contractor shall use all means necessary to prevent the occurrence of wind blown litter from the project site.

#### Parking Analysis:

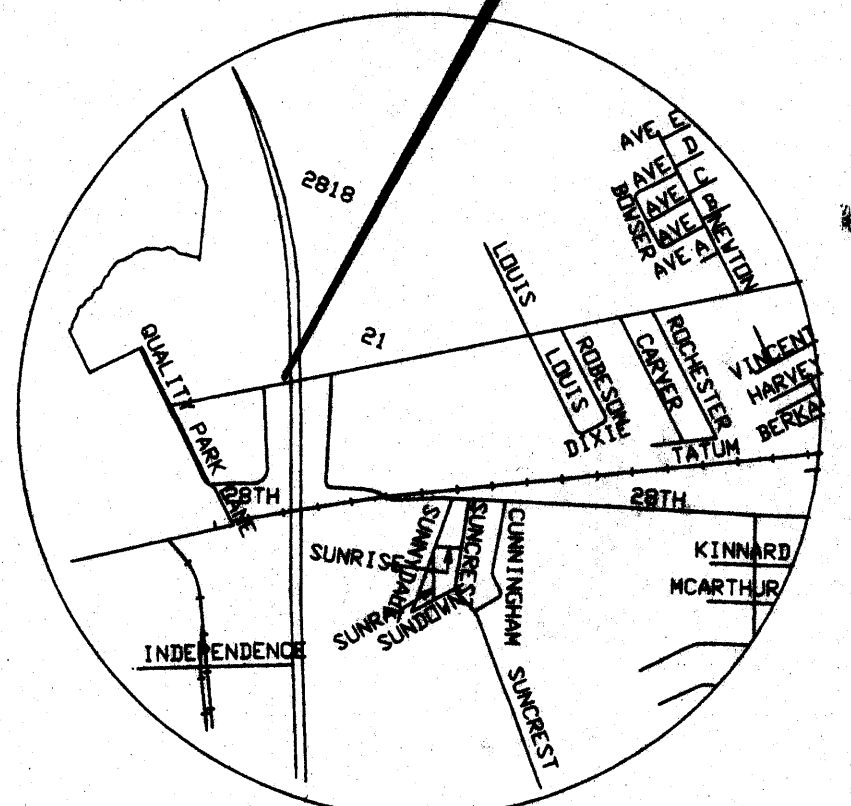
Per Office Operation  
1 parking space per each 300 square feet of the gross floor area.  
Office - 5951 sq.ft.  
Total Office Parking Spaces Required = 19.83 Spaces

Per Machinery Sale and Repair / Warehouse  
1 parking space per each 2000 square feet of the gross floor area.  
Buildings - 33545 sq.ft.  
Total Warehouse Parking Spaces Required = 16.77 spaces

Per Wholesale & Manufacturing Operation  
1 parking space per each 2 employees on the larger shift.  
43 employees on the larger shift  
43/2 = 21.5 Total Wholesale Operation Parking Spaces Required

58.11 or 59 Parking Spaces Required  
70 Standard + 2 Handicap Parking Spaces Provided

#### Project Location



VICINITY MAP  
- N.T.S. -

#### CERTIFICATE OF SURVEYOR

I, Donald D. Garrett, Registered Professional Land Surveyor No.2972, of the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground and that the metes and bounds describing said subdivision will describe a closed geometric form.

Donald D. Garrett, R.P.L.S. No. 2972

#### CERTIFICATE OF THE ENGINEER

I, Donald D. Garrett, Registered Professional Engineer No. 22790, in the State of Texas, hereby certify that proper engineering consideration has been given to this plat.

Donald D. Garrett, P.E. No. 22790

## SITE and GRADING PLAN of PRATER SUBDIVISION LOT 1 BLOCK 1 8.66 ACRES

Vol. 6131 Pg. 099

0.47 Acres

Vol. 2548 Pg. 313

1.00 Acres

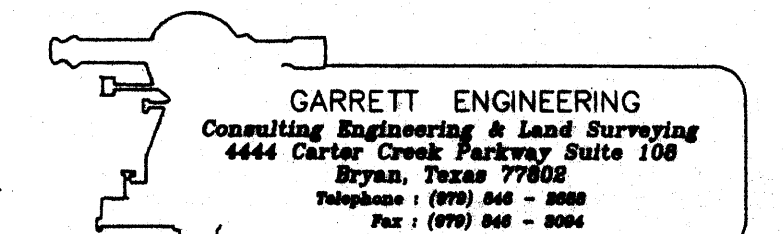
STEPHEN F. AUSTIN, NO.9, A-62

Bryan,  
Brazos County, Texas

SCALE : 1"=40' JAN. 2006

OWNER/DEVELOPER: Development & Engineering Services

Coufal-Prater Equipment  
3110 Highway 21 West  
Bryan, TX 77803-1241  
(979) 822-7684



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SP05-49#2



# TREE MULCH RING SYMBOL

This symbol denotes a 3' diameter mulch ring around all canopy trees which appear in lawn areas.

# NOTE:

Parking screening shrubs - LIGUSTRUM must be at least 3 feet in height at time of installation.

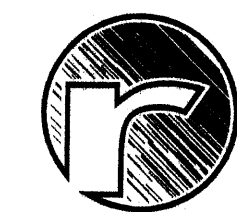
# NOTE:

100% coverage of groundcover, decorative paving, decorative rock, or perennial grass is required in parking lot islands, swales and drainage areas, the parking lot setback, rights-of-way, and adjacent property disturbed during construction.

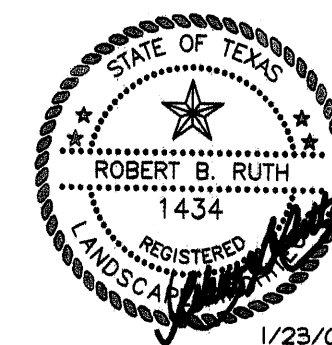
# Key

## Canopy Trees

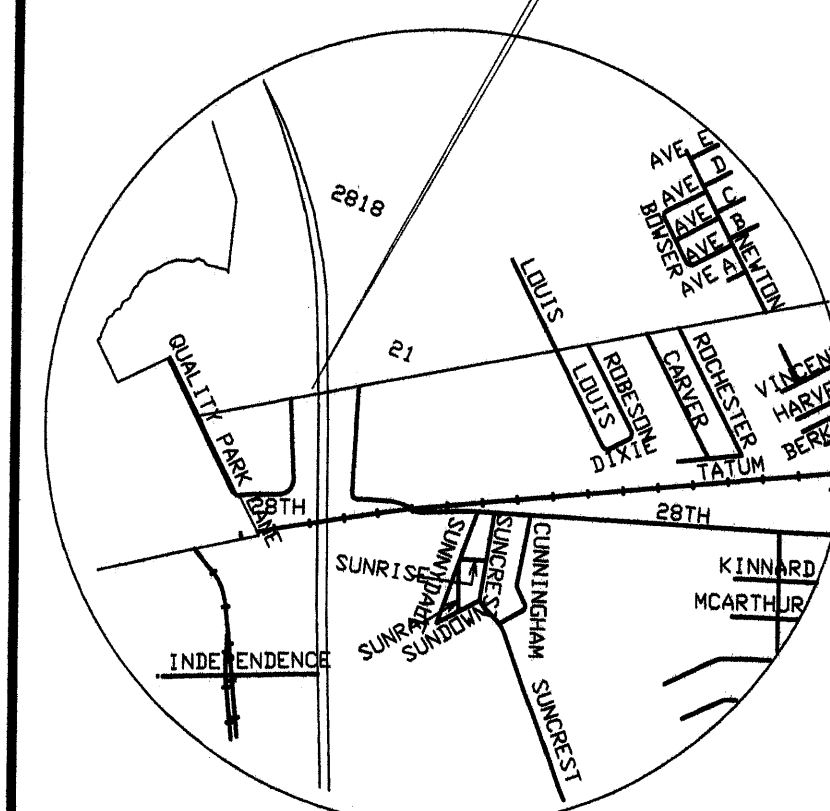
- Bald Cypress
- Live Oak
- Lace Bark Elm



**Robert Ruth Associates**  
3131 Briarcrest Suite 112  
Bryan, Texas 77802  
979.776.9692



# Project Location



VICINITY MAP  
- N.T.S. -

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# LANDSCAPING PLAN

PRATER SUBDIVISION  
LOT 1 BLOCK 1  
8.66 ACRES

Vol. 6131 Pg. 099

0.47 Acres

Vol. 2548 Pg. 313

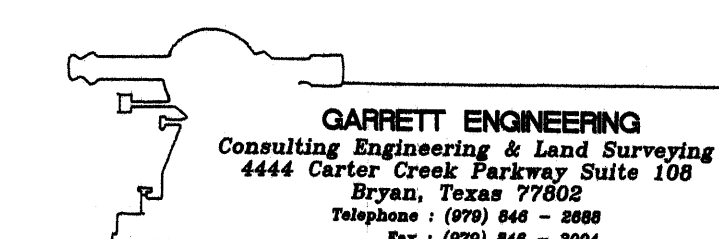
1.00 Acres

STEPHEN F. AUSTIN, NO.9, A-62  
Bryan,  
Brazos County, Texas

SCALE : 1"=40' November, 2005

# OWNER/DEVELOPER:

**Coufal-Prater Equipment**  
3110 Highway 21 West  
Bryan, TX 77803-1241  
(979) 822-7684



# Landscape Calculations

## Required Landscaping

POINTS CALCULATIONS  
BUILDING SITE -- 377,227.81 Sq. Ft. x .5% = 18,861 Sq. Ft.  
TREES REQUIRED -- 18,861 Sq. Ft. / 2 = 9,431 Sq. Ft. Required  
CANOPY TREES REQUIRED -- 9,431 Sq. Ft. / 2 = 4,716 Sq. Ft. Required  
NO EXISTING TREES ON SITE  
BUFFERYARD REQUIREMENTS (None)

## Proposed Landscaping

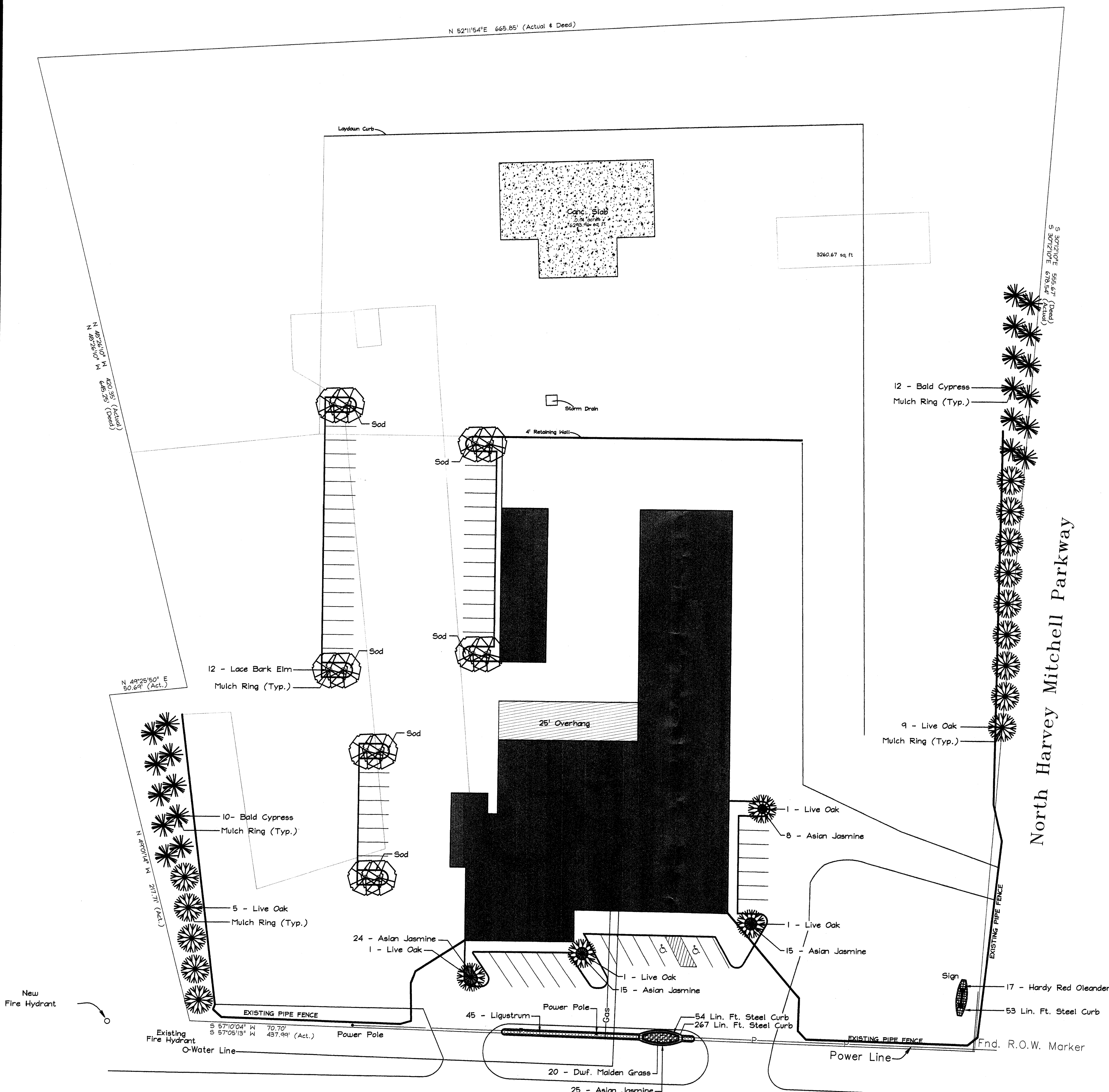
TREES  
NEWLY PLANTED CANOPY TREES (container)  
52 @ 350 Sq. Ft. (3 1/2 Cal.) = 18,200 Sq. Ft.  
SHRUBS  
LESS THAN 2 GALLONS  
20 @ 5 Sq. Ft. = 100 Sq. Ft.  
2 GALLONS TO 15 GALLONS  
62 @ 10 Sq. Ft. = 620 Sq. Ft.  
GRASSES AND GROUNDCOVERS  
SOLID SOD  
1,036 Sq. Ft. / 100 X 10 = 100 Sq. Ft.  
GROUNDCOVER  
147 Sq. Ft. / 100 X 10 = 10 Sq. Ft.  
TOTAL PROPOSED LANDSCAPING = 19,030 Sq. Ft.

# General Notes

- All Plant Material shall be pruned / shaped as per Landscape Architect after installation to remove any broken or damaged branches and to give uniformity of shape.
- All Plant Material must be approved by the Landscape Architect before installation.
- Verify all quantities before installation.
- Broken pieces of sod (smaller than 8" square) are not acceptable.
- Landscape Contractor is responsible for clearing any dirt or mud from public roadway. Landscape Contractor is also responsible for keeping the site clean during construction and plant installation.
- All proposed "New Canopy Trees" shall be containerized.
- An automatic irrigation system will cover the designated landscaped areas. All other areas shall be accessible by hose bibb.
- Bedding Soil (Flowerbeds):  
All flowerbed areas - mound soil up cresting at 8" above top of finish grade or top of adjacent concrete.  
Soil shall be composed of the following mixture:  
60% Sandy Loam Topsoil, 20% Black Humus (Black Velvet), 10% Mushroom Compost and 10% Red Shredded Mulch.
- All flowerbeds shall be top dressed with a 3" layer of Black Humus, Black Velvet or approved equal.
- Install 3' diameter mulch rings (3" thick) around all trees which appear in lawn areas.
- All plant material is to be guaranteed for 1 full year.
- Erosion control is required as needed and clean-up is included.
- See Site Plan for topographic information, existing and proposed utilities, easements, adjacent land uses, existing development and roadways.

# Plant List

Key	Quantity	Size	Common Name (Botanical Name)	Sq. Ft. Value	Value	Comments
<b>Canopy Trees</b>						
12	3 1/2 Cal.		Lace Bark Elm (Ulmus parvifolia)	350	4,200	10/12' Ht., 3 1/2" Sp., Matched
22	3 1/2 Cal.		Bald Cypress (Taxodium distichum)	350	7,700	6'-0" Clear Trunk Min., Container, 10/12' Ht., 3 1/2" Sp., Matched
18	3 1/2 Cal.		Live Oak (Quercus virginia)	350	6,300	6'-0" Clear Trunk Min., Container, 10/12' Ht., 3 1/2" Sp., Matched
<b>Shrubs</b>						
17	5 Gal.		Oleander (Nerium oleander 'Hardy Red')	10	170	36" Ht x 18" W Min., Rooted, Full
45	5 Gal.		Wax Leaf Ligustrum (Ligustrum japonicum)	10	450	36" Height Min., Rooted, Full
20	1 Gal.		Dwarf Maiden Grass (Miscanthus sinensis 'Yaku Jin')	5	100	36" Height Min., Rooted, Full
<b>Ground Cover</b>						
87	1 Gal.		Asian Jasmine (Trachelospermum asiaticum)	10/100 SF	10	Pot Full, 3 - 12" Runners, min.
<b>Turf</b>						
Field Verify	Sq. Ft.		Hybrid Bermuda (Cynodon dactylon 419)	10/100 SF	100	Solid Sod, Weed Free
<b>TOTAL PROPOSED LANDSCAPING</b>						
				19,030 Sq. Ft.		





# Irrigation Symbol Key

- III 1/2" Top
- ☒ Irrigation Controller (07/L3)
- VBA Vacuum Breaker Assembly (02/L3)
- HB Hose Bibb
- M Water Meter
- Electric Valve (03/L3)
- Toro Irrigation Head
- PVC SCH 40 Irrigation Mainline
- PVC Irrigation Pipe (Size Varies)
- ==== 4" SCH 40 Sleeve or Bore

# Zone Specifications

Valve	Volume	Max.
(SPRAY) #1	47.60 GPM	(61.20 GPM)
(SPRAY) #2	13.95 GPM	
(SPRAY) #3	19.00 GPM	
(SPRAY) #4	61.20 GPM	
(SPRAY) #5	18.00 GPM	(31.83 GPM)

Water output not to exceed 75 GPM.

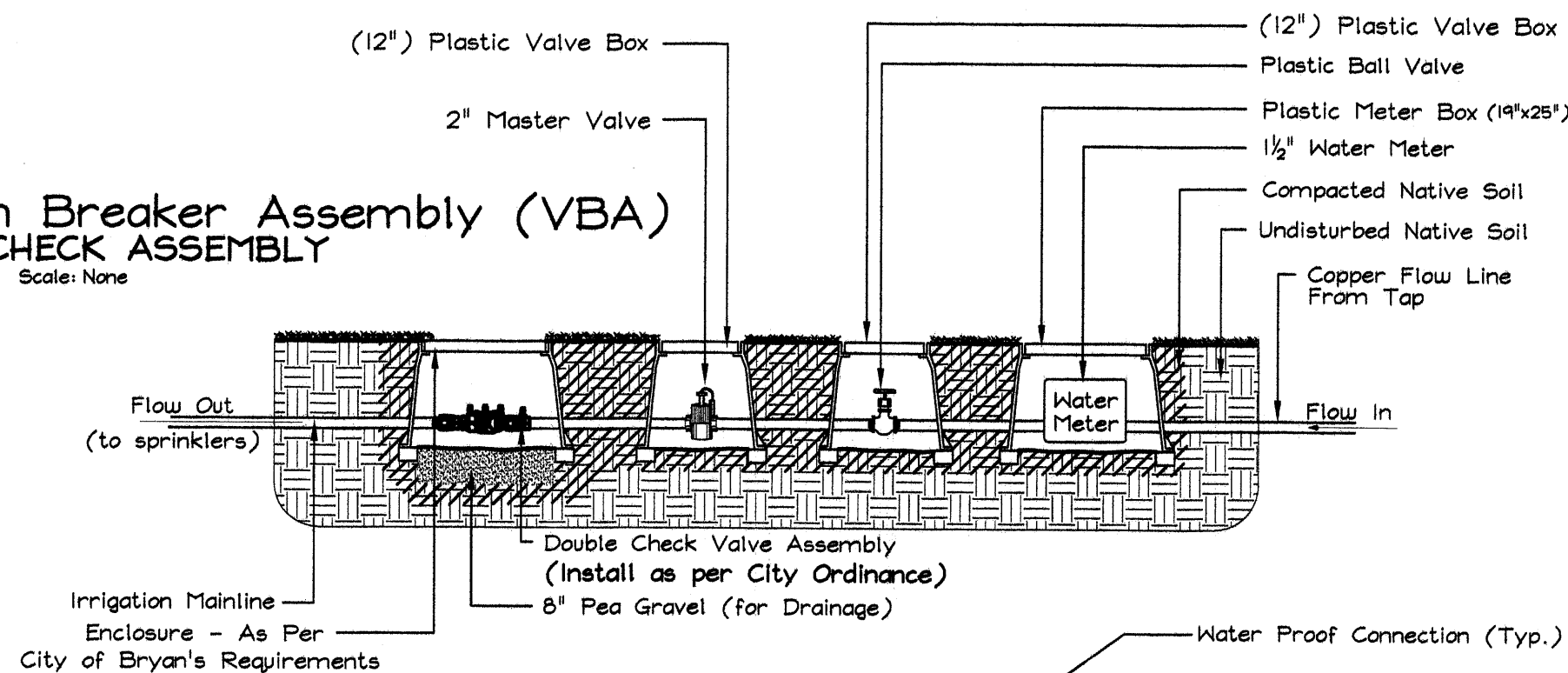
# Irrigation Specifications

## Materials

- All main lines are to be schedule 40.
- All lateral lines are to be class 200.
- All fittings are to be schedule 40.
- All wiring is to be 14 gauge.
- All sleeves to be schedule 40.
- All electric valves: (Refer to 03)
- Controller is to be Toro Custom Command (Metal Case).
- All valve boxes (concrete and plastic) shall remain flush with finish grade for a period of one year or will be raised/straightened at no cost to the owner.
- All irrigation components shall carry an unconditional one year guarantee (materials and labor).
- Installation of all irrigation components shall be approved by Landscape Architect, Owner or Owners' Agent before pipes are covered.
- All irrigation ditches shall be backfilled and tamped.

## 02 Vacuum Breaker Assembly (VBA)

Ref: None Scale: None



## 03 Electric Irrigation Valve

RAINBIRD PEB SERIES

Ref: None Scale: None

### TURF HEAD

6" Pop-Up

- MPR PLUS NOZZLES (SIZE PER PLAN)
- NOTE: INSTALL SPRINKLER AT FINISHED GRADE
- APPROVED BACKFILL
- TORO 570Z-6P SPRINKLER
- LATERAL TEE
- LATERAL PIPE

## 04 Toro 570 Series

Spray Sprinkler

Ref: None Scale: None

## 05 Toro 570 Series

Spray Sprinkler

Ref: None Scale: None

## 06 Toro Mini 8 Series

ROTARY SPRINKLER

Ref: None Scale: None

### Note:

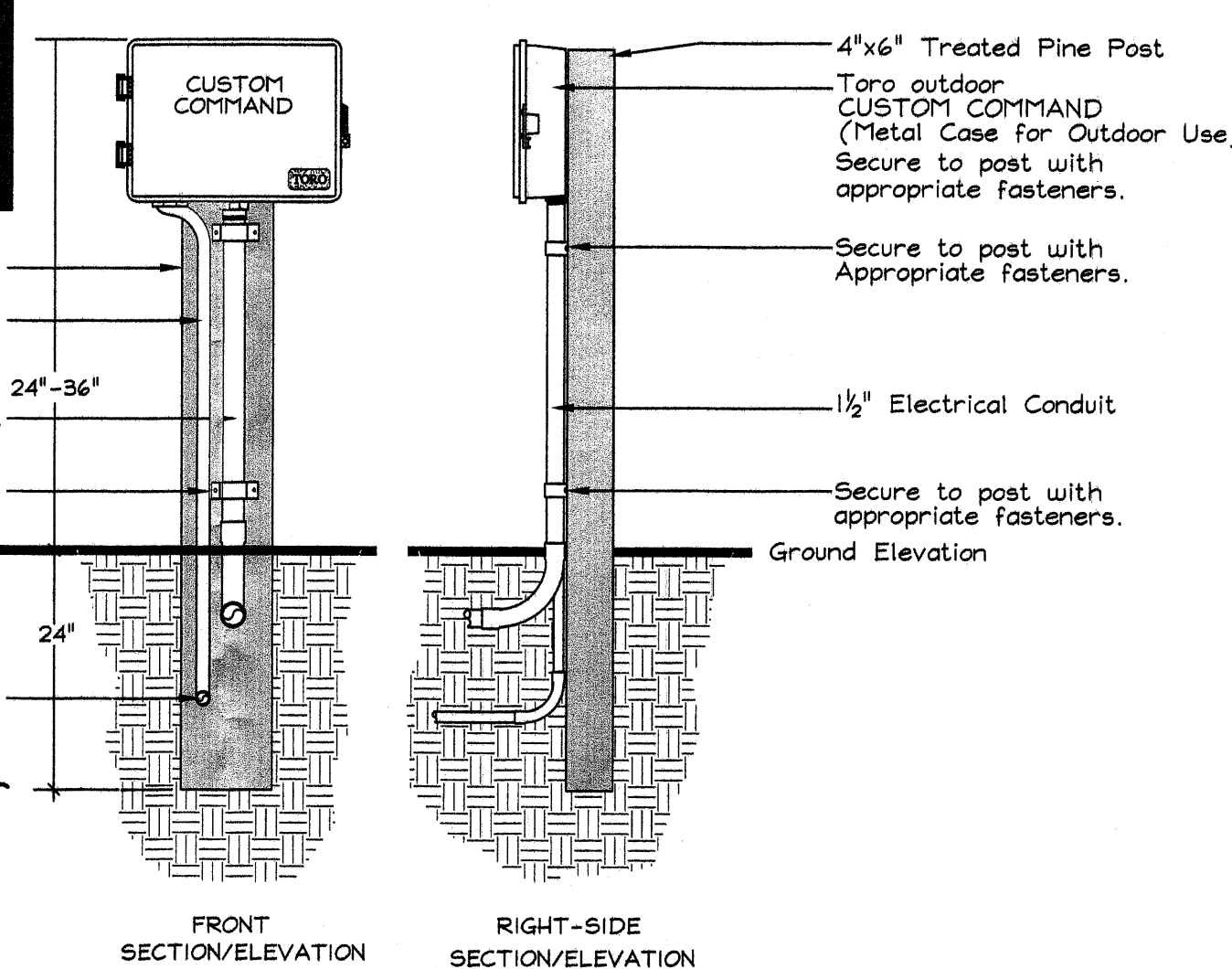
- Verify location of controllers before installation of controllers.
- 115V Power Supply is to be provided for the irrigation contractor.

- 4"x6" Treated Pine Post
- 1" Conduit for 115v Power Install as per local and national codes.
- 1/2" Electrical Conduit (for control wires)
- Secure to wall with appropriate fasteners.
- Ground Elevation
- Depth as per local Elec. Code

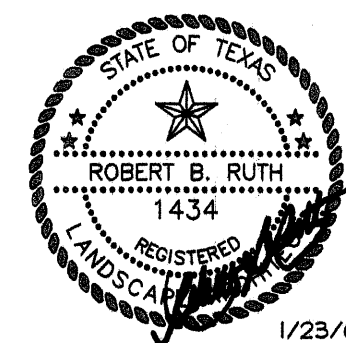
## 07 Irrigation Controller

Toro CUSTOM COMMAND

Ref: None Scale: None



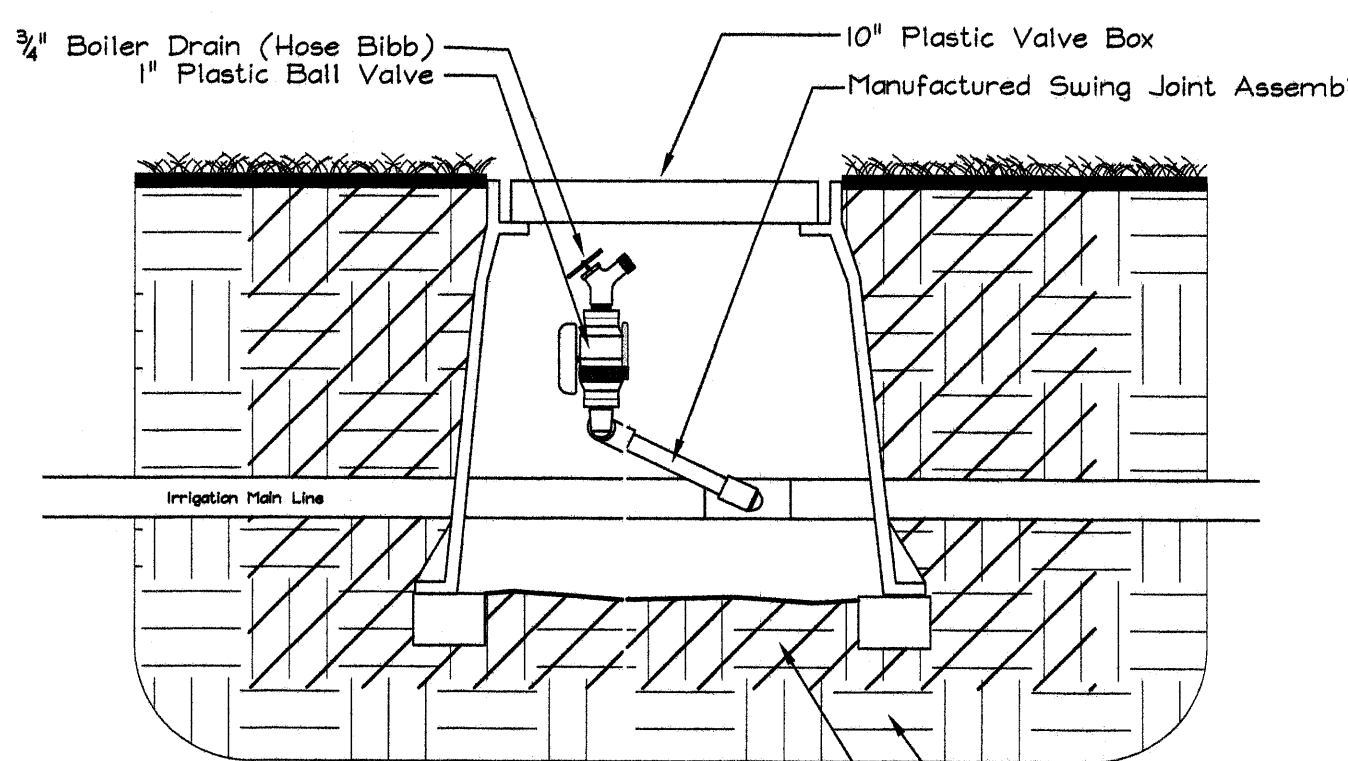
**Robert Ruth**  
associates  
3131 briarcrest suite 112  
bryan, texas 77802  
979.776.9692



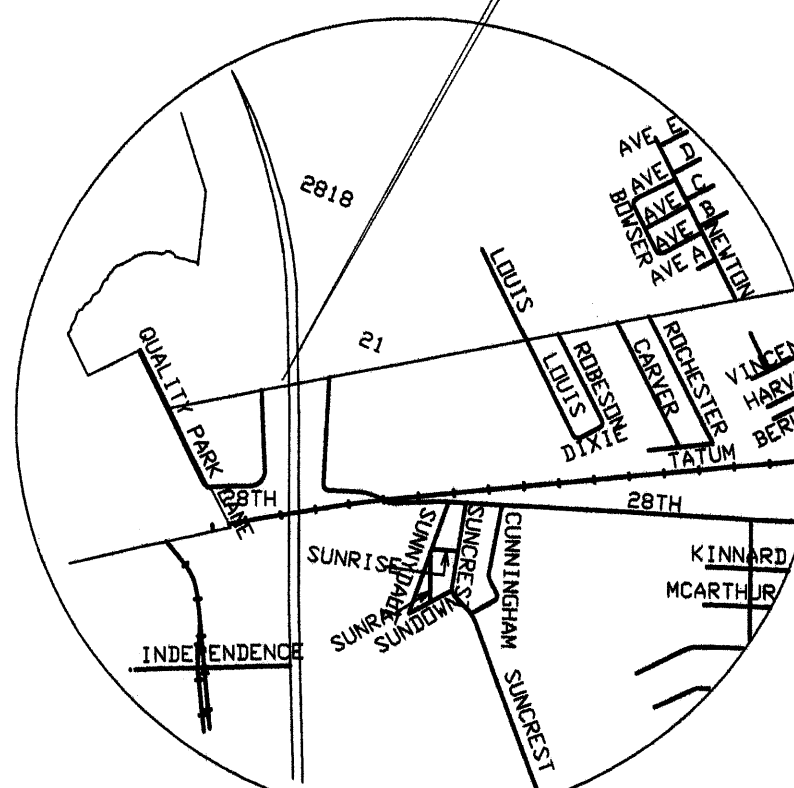
## 08 Hose Bibb

on Suing Joint

Ref: None Scale: None



# Project Location



## VICINITY MAP

- N.T.S. -

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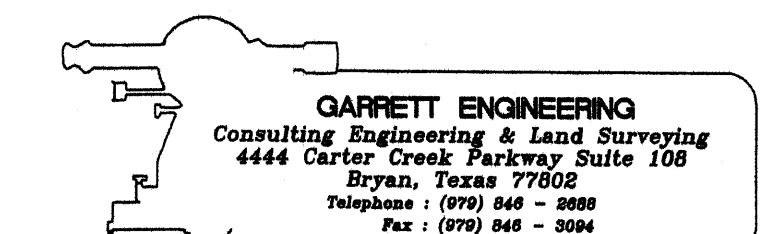
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SCALE : 1"=40' November, 2005

## OWNER/DEVELOPER:

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3110 Highway 21 West  
Bryan, TX 77803-1241  
(979) 822-7684



## 01 Irrigation Plan

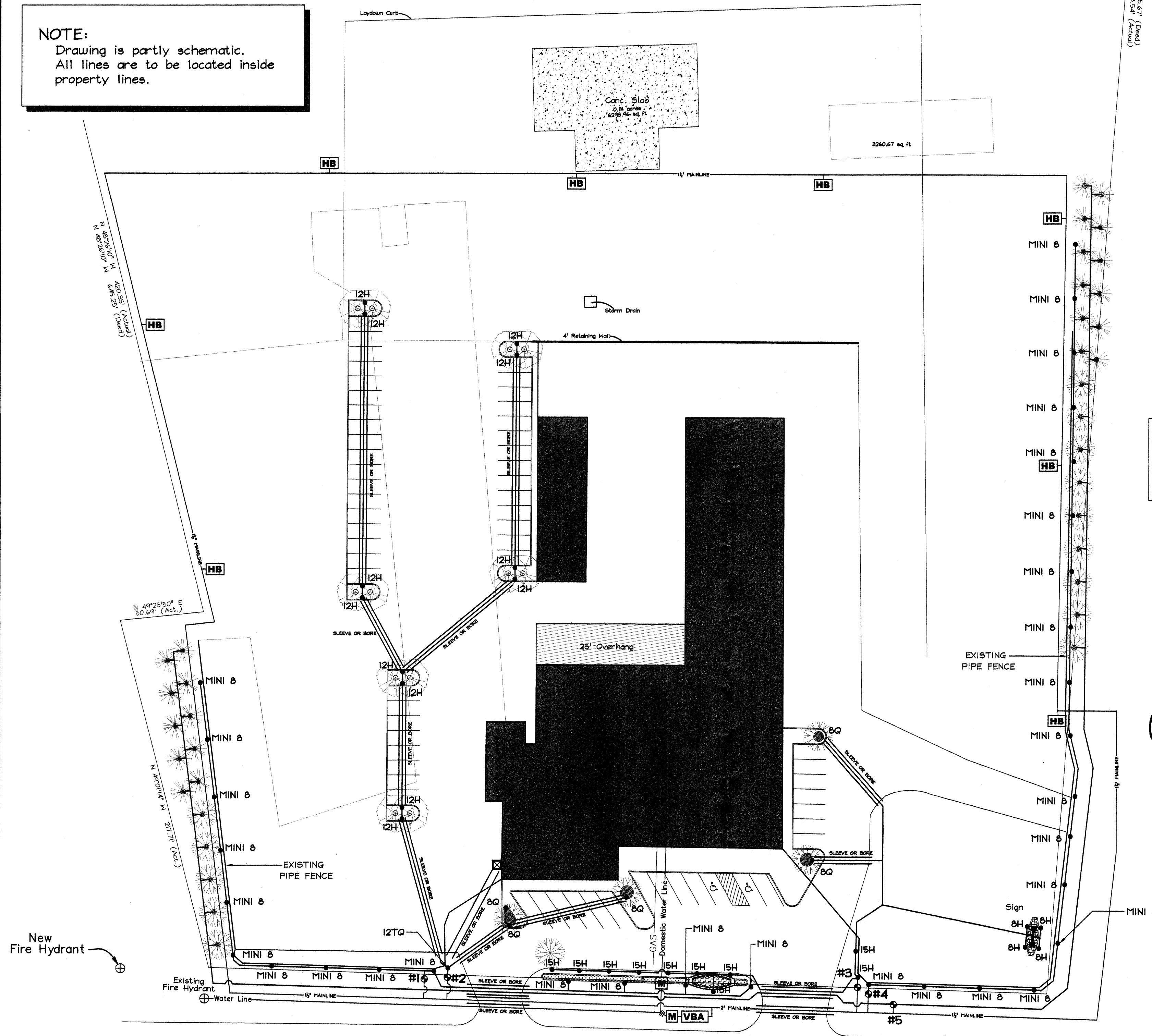
Ref: None Scale: 1"=40'

Note: Verify all dimensions before construction.



3110 STATE HIGHWAY 21 WEST

NOTE:  
Drawing is partly schematic.  
All lines are to be located inside property lines.



SP05-49 #2